

**TECHNICAL REVIEW COMMITTEE
PRELIMINARY COMMENTS AND/OR RECOMMENDED CONDITIONS**

Note: Village Planning staff is responsible for coordinating the Technical Review of Special Use Rezoning Requests; please contact the appropriate Department at the phone # indicated below if you have any questions about the comments or recommendations listed. Further, please note that additional information may be forthcoming from Departments that indicate “See Emailed Comments” or another similar phrase. A list of recommended conditions from this Technical Review Committee will be sent to you via fax generally by the end of the business day on Friday the week prior to the Planning Board Public Hearing.

PROJECT CASE #: C-246 **PARCEL PIN:** 5883-85-8093
PROJECT TITLE/DESCRIPTION: Main Street Village Point Apartments
UDO: PB-S to PB-S; final development plan

NCDOT District 2: Sr. Assistant District Engineer, Randy Ogburn (336-747-7900)

- No comments

Winston-Salem/Forsyth County Inspections (Zoning), Elizabeth Colyer (336-727-2626) elizabethrc@cityofws.org

- No comments

Winston-Salem (Erosion Control/Floodplain Program Manager) Matthew Osborne (336-747-7453) matthewo@cityofws.org

- If the proposed project creates more than 10,000 sq. ft. of land disturbance (20,000 sq. ft. of land disturbance for Single-Family Dwelling construction), a Grading/Erosion Control Permit will be required prior to the start of work. In order to obtain this permit you must submit a professionally designed Erosion Control Plan along with an original signed/notarized Financial Responsibility/Ownership (FRO) form for review and approval. Please submit the plan through the electronic plan review portal as application type 04.02 Grading/Erosion Control Permit at the following link: <https://winston-salem.idtplans.com/secure/>

Clemmons Public Works/Stormwater, Wes Kimbrell (336-766-9170) wkimbrell@clemmons.org

- See attached

Clemmons Fire Jerry Brooks (336-766-4114)

- See Forsyth County Fire comments

Forsyth County Fire Scott Routh (336-703-2550) routhcs@forsyth.cc

- Refer to B105.1(2) for required fire flows. The buildings will be eligible for a fire flow reduction with the installation of an

automatic sprinkler system. I am unable to determine the required fire flow because construction type and square footage of the buildings was not provided.

- The access road must be 26' unobstructed due to the height of the building requiring aerial access.
- There are not enough fire hydrants onsite you will need to add some and meet the spacing requirements found in C103. The amount to add will depend on the required fire flow. Again, I am unable to determine this until I know the square footage and construction type.
- Your aerial access road must meet the requirements found in D105.3.
- No overhead powerlines on the aerial access road.
- Fire lane will have to be marked with No Parking signs meeting the intent of D103.6.
- FDC for sprinklers will need to be within 100' of a fire hydrant. If you have a different FDC for the standpipes it must be within 100' of a hydrant.
- Any private hydrant will require a separate permit from our office
- Plan on having the building evaluated for Emergency Responder Radio Coverage. Section 510 of the NC Fire Code.
- The aerial access road will need to meet the Clemmons UDO weight requirement of 85,000 pounds.
- The turning radius must be able to meet the specifications for the aerial apparatus from Clemmons Fire Department.

Winston-Salem/Forsyth County Utilities, Chris Jones (336-747-7499) charlesj@cityofws.org

- Water meters purchased through COWS. System development fees due at the time of meter purchase. RPA BFP required on domestic connection, RPDA BFP required on fire line. 6" Sanitary Sewer connection into SSMH.

Clemmons Planning, Nasser Rahimzadeh (336-766-7511) nasser@clemmons.org

- Please modify setback for the rear yard to 40' per B.2-1.3(F)(2)1... Whenever a lot in a nonresidential district other than the NB or NO Districts shares a common boundary line with a lot in a residential district (except RM-U), YR, AG, or H District with no intervening street or highway, the lot in the nonresidential district shall have a required setback along the shared boundary line of not less than forty (40) feet or shall have the required setback for the nonresidential district, whichever is greater. (Harper View Ct does not fully extend the length of this parcel's west property line)
- Confirm compliance with B.2-1.3.1(A)(5) Roofs...All roofs shall be pitched or provide a parapet wall to hide all equipment from the ground level of the building.
- Streetyard requirements are modified to follow Planting Strip requirements per B.2-1.3.1(C).
- Site plan shall comply with B.2-1.3.1(E) Lighting. (1) Pedestrian scaled lighting fixtures shall be provided in areas designed for pedestrian activity (walkways, plazas, outdoor seating areas). (2) Lighting fixtures shall coordinate and complement the general architectural style of development. (3) All lighting fixtures shall be cut-off or shoebox style that only disperses ½ candle determined by a photometric lighting plan.
- Village Point Design Guidelines

- Petition is special use district zoning with use condition B.2-5.62
- Site plan shall comply with applicable sections of B.2-5.62.
- Will any of the following uses be on site – Management office for the premises, gate houses, self-service laundries, club house and recreation facilities, and storage facilities for use by residents of the multifamily complex?
- Site plan shall comply with B.3-1.2(K) Building Spacing Requirements for Multifamily, Townhouse, or Twin Home Residential Buildings.
- Proposed monument sign shall comply with B.3-2 of the Zoning Ordinance.
- Note location and setback requirements for on-premise ground signs per B.3-2.1(E)(2) Location and Setbacks. (a)All parts of ground signs (on-premises) must be completely out of the right-of-way. The sign location shall not interfere with pedestrian or vehicular circulation. (b)A projecting sign may extend a maximum of eighteen (18) inches into the right-of-way. (c)Ground signs (on-premises) shall be set back a minimum of one linear foot per square foot of sign area from any structure used exclusively as a residence.
- Show landscaped area between parking area and building wall that provides access into the unit(s) per B.3-3.2(E)(3) Parking for Multifamily Dwellings...A minimum three (3) foot wide landscaped area shall be provided between any parking area and building wall providing access into the unit(s).
- Note: Lighting in parking areas shall be so shielded as to cause no direct light upon adjacent properties or structures per B.3-3.3(J) Lighting...Any lighting in parking, stacking, and loading areas shall be so shielded as to cast no direct light upon adjacent properties or structures.
- Parking must comply with B.3-3.5(D)(1)(b)(i) (i)Single Street Frontage...A zoning lot which only has frontage on one street shall have a maximum of two (2) surface off-street parking and unloading spaces located between the building wall and the street or an extension of that building wall through the entire street frontage. Any additional surface off-street parking and unloading spaces shall be located to the sides or rear of that building wall as extended through the street frontage.
- Landscape islands shall comply with planting area per B.3-4.3(C)(2) Size...Each planting area shall allocate a minimum of one hundred fifty (150) square feet per tree, with a minimum radius of seven (7) feet for small or medium variety trees. A minimum planting area of six hundred (600) square feet shall be required for each large variety tree.
- All on-site mechanical equipment shall be screened in accordance with B.3-4.5(B)
- Site must comply with B.3-11.1 Lighting...Where a bufferyard is required pursuant to Section B.3-5, outdoor lighting shall be so shielded and oriented as to cast no direct light onto adjacent property.

Clemmons Planning, Jeff Vaughn (336-766-7511) jvaughn@clemmons.org

- No comments

Winston-Salem/Forsyth County GIS Mapping and Design, Carly Everhart (336) 747-7012 carlye@cityofws.org

- No comments

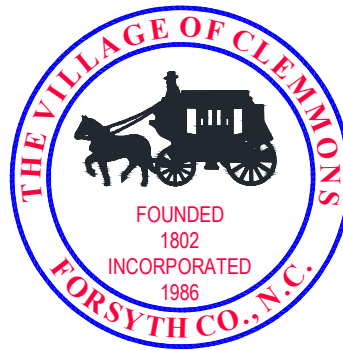
Forsyth County Addressing, Matthew Hamby (336-703-2337) hambyme@forsyth.cc

- Before addresses can be assigned, please send floor plans to hambyme@forsyth.cc

Kimley-Horn, Jonathan Guy (843-737-6386) Jonathan.Guy@kimley-horn.com

Regarding the Traffic Impact Analysis:

- The technical memorandum states that the “proposed residential development is expected to consist of up to 150 apartment units”. However, the latest site plan—and description for the development included on the TRC comment form—indicate that the site will include 160 multifamily units. The site plan and/or TIA should be revised such that the two agree.
- The site trip generation potential was estimated using ITE Land Use Code 220 (Multifamily Housing – Low Rise). However, ITE defines “low-rise” as applicable to one- or two-story buildings, whereas the proposed development will include a four-story building.
 - Based on the national dataset contained within the ITE Trip Generation Manual, 10th Edition, a mid-rise multifamily development is likely to generate fewer trips than a low-rise multifamily development with the same number of dwelling units. As a result, the current analysis represents a conservative estimate of potential trip-making associated with the Main Street Village Point Apartments.
 - Revisions to the traffic analysis using ITE Land Use Code 221 (Multifamily Housing – Mid-Rise) or clarification within the technical memorandum text should be considered accordingly.
- The proposed trip distribution and assignment and Build (2023) traffic volume estimates appear reasonable.
 - Based on the proposed trip distribution and assignment, which assumes that 80% of all site trips occur to/from Towncenter Drive east of the TIA study area, impacts at the intersection of Lewisville-Clemmons Road with Towncenter Drive may not be negligible.
 - Consider amending the TIA study area to include the signalized intersection of Lewisville-Clemmons Road with Towncenter Drive prior to approving the TIA scope.
- Southbound right-turn volumes at the intersection of Village Point Drive with Site Access A meet the warrants on Page 80 of the NCDOT Policy on Street and Driveway Access to North Carolina Highways during the AM peak hour.
 - The technical memorandum text should be modified to make note of auxiliary turn lane warrants and provide justification for not recommending a southbound right-turn lane at Site Access A.



PUBLIC WORKS

9/17/2021

Subject: Main Street Village Point TRC Comments

Below are the TRC comments provided by the Public Works, Engineering, and Stormwater Department:

1. Stormwater application and fees are required.
2. A grading permit will be required from the City of Winston-Salem.
3. Show and label all streams on and adjacent to the property. All jurisdictional streams will require buffers per C-UDO 84 changes. (Some buffers may overlap onto this site.)
4. Sideslopes shall be no steeper than 2:1 on site, 3:1 is preferred. Consider adding retaining walls.
5. Developer must obtain commercial driveway permits (fees and applications required) for each driveway prior to obtaining a stormwater management permit.
6. All new utilities shall be jack and bored underneath of existing roads.
7. Show sign locations.
8. Show (70x10) site distance triangles for all driveway connections. Remove all visible obstructions from those site distance triangles.
9. Add a note that crosswalks shall match others in the Village Point area. (Village Engineer to provide details at construction document phase)
10. Add slotted drains across the driveways, immediately behind the right of way.
11. It's preferred to have access manholes not located in parking stalls to allow for accessibility. Also, need to relocate access manhole for SCM away from dumpster approach.
12. Add a note that the site must conform to all ADA standards.
13. Add a note that the site must be completely accessible to solid waste and emergency vehicles without traveling over curbs, or through parking stalls.
14. Add a note that the pool drain shall be connected to the sanitary sewer system and not the storm drainage system.
15. Add a note that this site is subject to a 70% max impervious area limit.

Please do not hesitate to call if you have any questions or need any assistance with the submittal.

Sincerely,

Wes Kimbrell, PE
Village Engineer
The Village of Clemmons