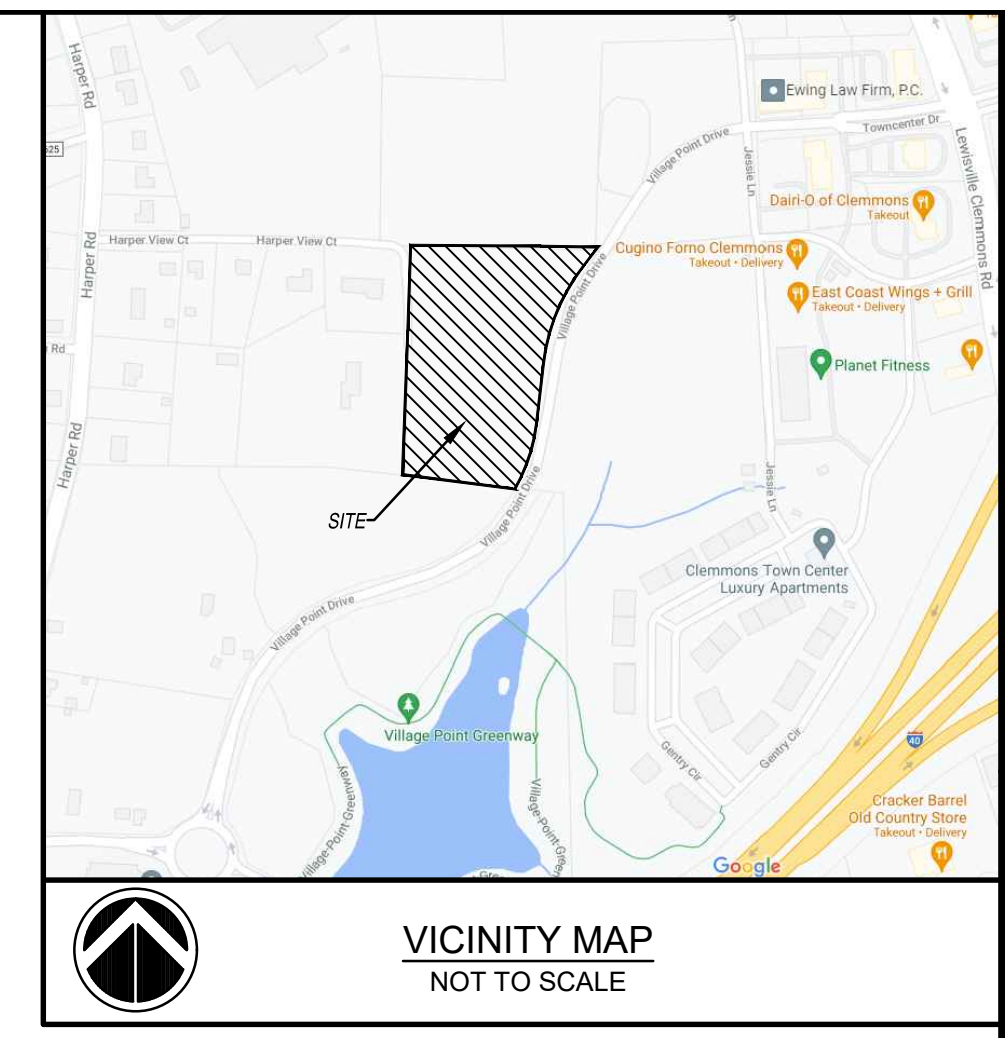


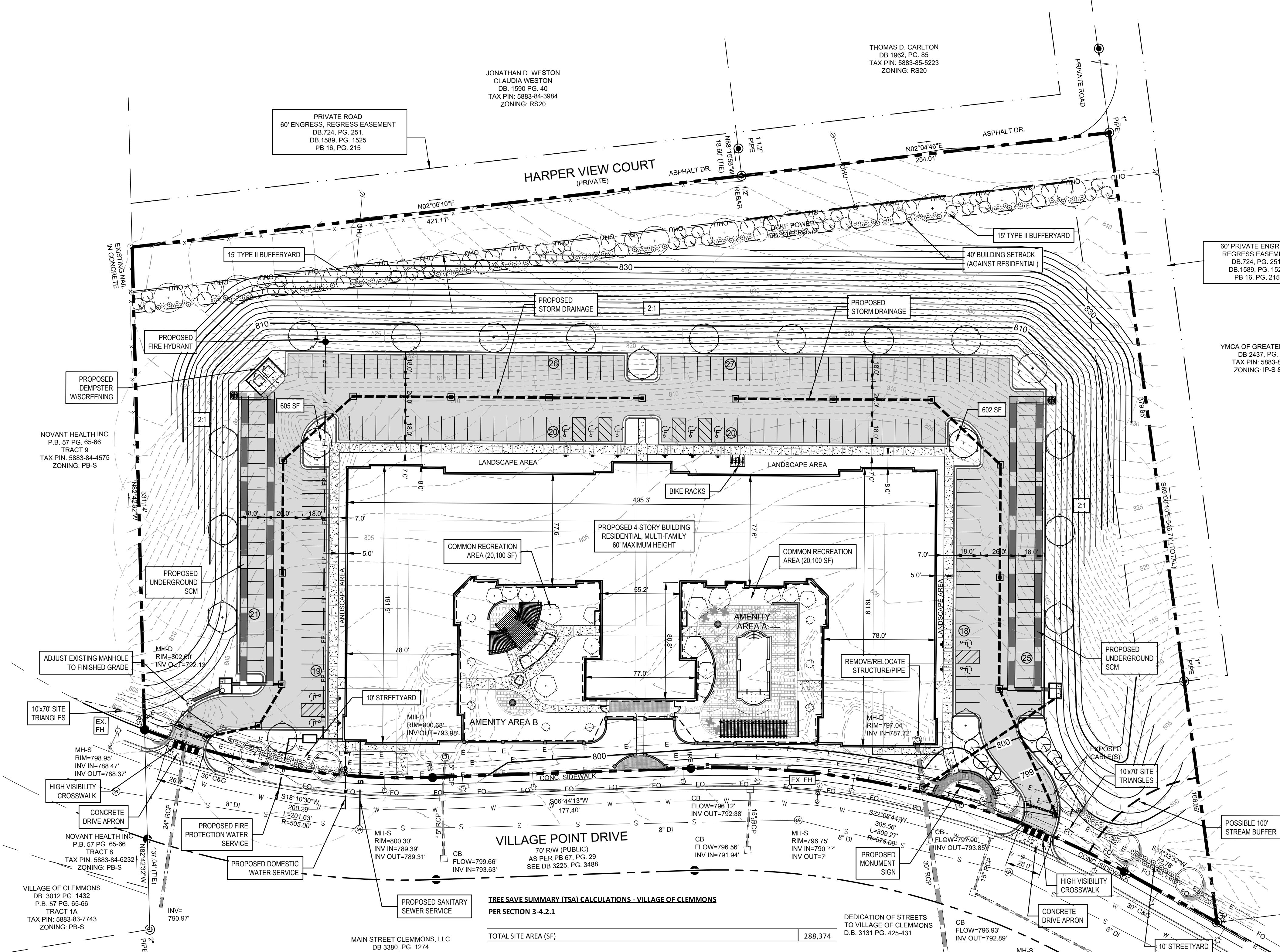
PROPERTY INFORMATION:
 PARCEL ID NUMBER: 5883-85-8093
 ZONING: PB-S
 ACREAGE: 6.62

PROPERTY OWNER/DEVELOPER:
 MAIN STREET VILLAGE POINT LLC
 4400 SILAS CREEK PARKWAY, SUITE 200
 WINSTON SALEM, NC 27104
 PHONE: (336) 414-1111
 EMAIL: DMORGAN@MAINSTREETCLEMMONS.COM

ENGINEER:
 ALLIED DESIGN, INC.
 4720 KESTER MILL ROAD
 WINSTON SALEM, N.C. 27103
 PHONE: (336) 765-2377
 EMAIL: SCAUSEY@ALLIED-ENGSURV.COM



Allied Design, Inc.
 CIVIL ENGINEERING & LAND SURVEYING
 4720 KESTER MILL ROAD
 WINSTON SALEM, NORTH CAROLINA 27103
 PHONE: (336) 765-2377
 FAX: (336) 760-8886
 WWW: WWW.ALLIED-ENGSURV.COM
 FIRM LICENSE C-1891



YMCA OF GREATER W-S INC.
 DB 2437, PG. 3978
 TAX PIN: 5883-85-8684
 ZONING: IP-S & GB-S

BUA CALCULATIONS
 MAIN STREET - VILLAGE POINT
 September 1, 2021

	SQ. FT.	ACRE	%
TOTAL SITE AREA:	288,374	6.620	
EXISTING BUA			
BUILDING:	0	0.000	
CONCRETE WALKS:	0	0.000	
PAVEMENT DRIVES:	0	0.000	
TOTAL:	0	0.000	
PERCENT BUA:	0.00%		
EXISTING BUA TO BE REMOVED			
BUILDING:	0	0.000	
CONCRETE WALKS:	0	0.000	
PAVEMENT DRIVES:	0	0.000	
TOTAL:	0	0.000	
PROPOSED BUA			
BUILDING:	54,005	1.240	18.7%
CONCRETE WALKS:	16,700	0.383	5.8%
PAVEMENT DRIVES:	60,200	1.382	20.9%
TOTAL:	130,905	3.005	45.4%
FINAL DEVELOPMENT BUA			
BUILDING:	54,005	1.240	18.7%
CONCRETE WALKS:	16,700	0.383	5.8%
PAVEMENT DRIVES:	60,200	1.382	20.9%
TOTAL:	130,905	3.005	45.4%

REVIEW INFORMATION

TYPE OF REVIEW:
 FINAL DEVELOPMENT PLAN

JURISDICTION:
 VILLAGE OF CLEMMONS

PURPOSE STATEMENT: THE PURPOSE OF THIS REQUEST IS FOR APPROVAL FOR FINAL DEVELOPMENT PLAN.

ZONING

EXISTING ZONING: PB-S
 PROPOSED ZONING: NO CHANGE

PROPOSED USES: OFFICES, MISCELLANEOUS, RESIDENTIAL, MULTIFAMILY, SERVICES, PERSONAL, AND GENERAL MERCHANDISE STORE

INFRASTRUCTURE

	PUBLIC	PRIVATE
WATER:	X	
SEWER:	X	
STREETS:		X

LINEAR FEET OF PUBLIC STREETS: N/A FT

DENSITY CALCULATIONS

SITE AREA: 6.62
 # OF UNITS: 160 (126 1-BDRM UNITS AND 34 2-BDRM UNITS)
 DENSITY: 24.17 UNITS PER ACRE
 BUILDING HEIGHT: 60 FT

PARKING CALCULATIONS

(126) 1-BEDROOM UNITS x 1.5 SPACES/UNIT = 189 SPACES
 (34) 2-BEDROOM UNITS x 1.75 SPACES/UNIT = 60 SPACES
 TOTAL PARKING REQUIRED: 249 SPACES
 30% PB REDUCTION: 74 SPACES
 NET PARKING REQUIRED = 175 SPACES
 TOTAL PARKING PROVIDED = 176 SPACES

BUILDING SETBACKS

FRONT: 0'
 REAR: 40' (AGAINST RESIDENTIAL)
 ONE SIDE: 0'
 COMBINED SIDE: 0'
 STREET: 0'

BUFFERYARDS

ADJOINING ZONING: RS20, IP-S, GB-S, PB-S
 TYPE REQUIRED: TYPE II AGAINST RESIDENTIAL
 WIDTH PROVIDED: 15' TYPE II

WATERSHED INFORMATION

SUBJECT PROPERTY IS LOCATED IN WS-IV PROTECTED WATERSHED.

COMMON RECREATION AREA

REQUIRED: 100 SQ FT/UNIT
 100 SF X 160 UNITS = 16,000 SQ FT
 PROPOSED: 20,100 SQ FT

ADDITIONAL INFORMATION

THE PB ZONING DISTRICT AND THE VILLAGE POINT DESIGN GUIDELINES REQUIRE THE PROPOSED BUILDINGS TO BE PLACED AS CLOSE TO THE RIGHT-OF-WAY AS POSSIBLE. THE 50' BUILDING SETBACK FROM THE PUBLIC STREETS AS REQUIRED BY UDO B.2.5.62 SHALL BE WAIVED UPON APPROVAL OF THE SPECIAL USE SITE PLAN.

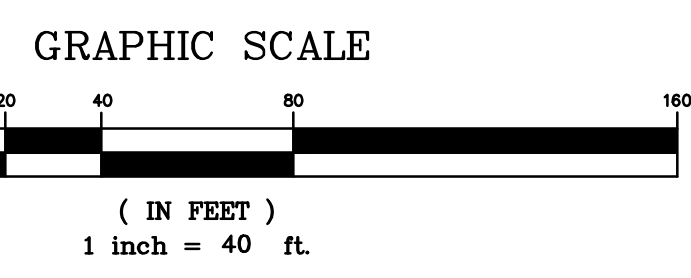
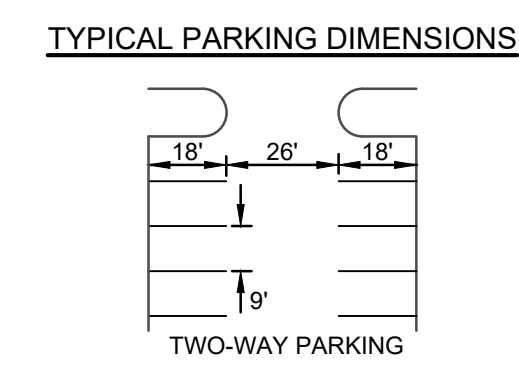
- VILLAGE OF CLEMMONS REQUIREMENTS**
- SITE RETAINING WALLS, IF REQUIRED, MUST BE DESIGNED BY A STRUCTURAL ENGINEER. RETAINING WALLS MUST ALSO BE REVIEWED AND APPROVED BY THE VILLAGE OF CLEMMONS PLANNING DEPARTMENT.
 - A VILLAGE OF CLEMMONS DRIVEWAY PERMIT WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A STORMWATER MANAGEMENT PERMIT.
 - ALL STORM DRAINAGE MUST BE CATCHED BY THE DEVELOPER PRIOR TO ACCEPTANCE AND RELEASE OF ANY FINANCIAL SURETIES BY THE VILLAGE OF CLEMMONS. IT IS SUGGESTED THAT THE EXISTING 30" SYSTEM BE CATCHED PRIOR TO CONSTRUCTION TO CHECK FOR ANY FAILURES OF THE SYSTEM.
 - ALL EXISTING ELECTRICAL LINES SHALL BE LOCATED A MINIMUM OF 10' (HORIZONTALLY) FROM THE PROPOSED BMP LOCATION. CONTACT ENERGY PROVIDER TO DISCUSS LOCATIONS.
 - DISCHARGE FROM THIS WILL BE CONNECTED TO THE EXISTING STORM DRAINAGE SYSTEM.
 - THE DRIVEWAY MUST MEET COMMERCIAL DRIVEWAY CONNECTION ORDINANCES FOUND IN CHAPTER 94 OF THE VILLAGE OF CLEMMONS CODE OF ORDINANCES.
 - ALL SIDEWALKS ADJACENT TO PARKING STALLS MUST BE A MINIMUM OF 7' IN WIDTH, UNLESS CONCRETE STOPS ARE INSTALLED IN THE PARKING STALL.
 - ANY DAMAGES TO EXISTING SIDEWALK, CURBING, OR ROADWAY, WILL BE THE DEVELOPER'S RESPONSIBILITY TO REPAIR. ALL REPAIRS MUST BE TO THE VILLAGE OF CLEMMONS STANDARDS.
 - SITE PLAN SHALL COMPLY WITH B.2-1.3.1(E) LIGHTING. (1) PEDESTRIAN SCALED LIGHTING FIXTURES SHALL BE PROVIDED IN AREAS DESIGNED FOR PEDESTRIAN ACTIVITY (WALKWAYS, PLAZAS, OUTDOOR SEATING AREAS). (2) LIGHTING FIXTURES SHALL COORDINATE AND COMPLEMENT THE GENERAL ARCHITECTURAL STYLE OF DEVELOPMENT. (3) ALL LIGHTING FIXTURES SHALL BE CUT-OFF OR SHOEBOX STYLE THAT ONLY DISPERSES 1/2 CANDLE DETERMINED BY A PHOTOMETRIC LIGHTING PLAN.
 - CROSSWALKS SHALL MATCH OTHERS IN THE VILLAGE POINT AREA.
 - SITE MUST CONFORM TO ALL ADA STANDARDS.
 - SITE MUST BE COMPLETELY ACCESSIBLE TO SOLID WASTE AND EMERGENCY VEHICLES WITHOUT TRAVELING OVER CURBS, OR THROUGH PARKING STALLS.
 - POOL DRAIN SHALL BE CONNECTED TO THE SANITARY SEWER SYSTEM AND NOT THE STORM DRAINAGE SYSTEM.
 - SITE IS SUBJECT TO A 70% MAX IMPERVIOUS AREA LIMIT.

TREE SAVE SUMMARY (TSA) CALCULATIONS - VILLAGE OF CLEMMONS
 PER SECTION 3-4.2.1

TOTAL SITE AREA (SF)	288,374
SITE AREA DEDUCTIONS	
PROPOSED ROWS (SF)	0
EXISTING UTILITY EASEMENTS (SF)	30,866
EXISTING WATER BODIES / SW PONDS	0
SUBTOTAL SITE AREA DEDUCTIONS (SF)	30,866
TSA BASE AREA (SF)	257,508
TSA REQUIRED	12%
MINIMUM REQUIRED TSA	30,901
PROPOSED TREE SAVE METHOD: NEW TREES USED FOR TSA CREDIT	
AREA CREDIT PER PROPOSED PLANTED TREE	750
REQUIRED MINIMUM QUANTITY OF PROPOSED TREES PLANTED	41
QUANTITY OF PROPOSED TREES PLANTED	42
TOTAL PROVIDED TSA	31,500

DEDICATION OF STREETS TO VILLAGE OF CLEMMONS
 D.B. 3131 PG. 425-431

- GENERAL NOTES**
- EXISTING SITE BOUNDARY INFORMATION TAKEN FROM EXISTING TOPOGRAPHY AND OTHER INFORMATION TAKEN FROM AVAILABLE CITY/COUNTY MAPS.
 - ALL DEVELOPMENT SHALL CONFORM WITH THE VILLAGE OF CLEMMONS UNIFIED DEVELOPMENT ORDINANCE.
 - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF CURB AND FACE OF BUILDING, UNLESS OTHERWISE NOTED. VERIFY ALL BUILDING DIMENSIONS WITH ARCHITECT PRIOR TO START OF CONSTRUCTION.
 - ALL WATER AND SEWER MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF WINSTON-SALEM AND THE CITY-COUNTY UTILITIES COMMISSION.
 - ALL HANDICAP RAMPS WILL NEED TRUNCATED DOME MATS.
 - STOP AND STREET SIGNS ARE REQUIRED AT STREET INTERSECTIONS.



PRELIMINARY PLANS
 NOT RELEASED FOR CONSTRUCTION

MAIN STREET VILLAGE POINT DEVELOPER
 VILLAGE POINT DRIVE
 CLEMMONS, NORTH CAROLINA

PROJECT NO.: 21-012
 DRAWN BY: JMM
 CHECKED BY: SMC
 DATE: 08/17/2021

REVISIONS

NO.	DATE	DESCRIPTION
A	08/17/2021	ISSUED FOR SKETCH PLAN REVIEW
B	09/07/2021	ISSUED FOR PLANNING BOARD REVIEW
C	10/04/2021	REVISED PER TRC COMMENTS

FINAL DEVELOPMENT PLAN

SHEET
C1