

**TECHNICAL REVIEW COMMITTEE
PRELIMINARY COMMENTS AND/OR RECOMMENDED CONDITIONS**

Note: Village Planning staff is responsible for coordinating the Technical Review of Special Use Rezoning Requests; please contact the appropriate Department at the phone # indicated below if you have any questions about the comments or recommendations listed. Further, please note that additional information may be forthcoming from Departments that indicate “See Emailed Comments” or another similar phrase. A list of recommended conditions from this Technical Review Committee will be sent to you via fax generally by the end of the business day on Friday the week prior to the Planning Board Public Hearing.

PROJECT CASE #: C-243 **PARCEL PIN:** 5883-95-5704

PROJECT TITLE/DESCRIPTION: Triad Ocular and Facial Plastic Surgery

UDO: PB-S to PB-S; final development plan

NCDOT District 2: Sr. Assistant District Engineer, Randy Ogburn (336-747-7900)

- No feedback provided by deadline
-

Winston-Salem/Forsyth County Inspections (Zoning), Elizabeth Colyer (336-727-2626) elizabethrc@cityofws.org

- No feedback provided by deadline

Winston-Salem (Erosion Control/Floodplain Program Manager) Matthew Osborne (336-747-7453) matthewo@cityofws.org

- If the proposed project creates more than 10,000 sq. ft. of land disturbance (20,000 sq. ft. of land disturbance for Single-Family Dwelling construction), a Grading/Erosion Control Permit will be required prior to the start of work. In order to obtain this permit you must submit a professionally designed Erosion Control Plan along with an original signed/notarized Financial Responsibility/Ownership (FRO) form for review and approval. Please submit the plan through the electronic plan review portal as application type **04.02 Grading/Erosion Control Permit** at the following link: <https://winston-salem.idtplans.com/secure/>

Clemmons Public Works/Stormwater, Wes Kimbrell (336-766-9170) wkimbrell@clemmons.org

- See attached

Clemmons Fire Jerry Brooks (336-766-4114)

- No feedback provided by deadline

Forsyth County Fire Scott Routh (336-703-2550) routhes@forsyth.cc

- Dead end fire apparatus access road in excess of 150' must have an approved apparatus turn around in accordance with D103.1 of the fire code.
- If the facility meets the definition of Ambulatory care facilities sprinklers will be required. 903.2.2
- No fire hydrant indicated on the site plan. One is required within 400' of the structure. If the building is sprinklered the distance is increased to 600'
- If the building is sprinklered the FDC must be located within 100' of a fire hydrant.
- Worst case scenario fire flow for this building would be 2500 GPM. If sprinklers are installed you could receive a reduction in the required fire flow. B105.1.
- There must be a minimum of 3 fire hydrants located in the area of the structure. These need to be shown on the site plan.

Winston-Salem/Forsyth County Utilities, Chris Jones (336-747-7499) charlesj@cityofws.org

- No feedback provided by deadline

Clemmons Planning, Nasser Rahimzadeh (336-766-7511) nasser@clemmons.org

- Façade needs to be oriented towards the intersection per B.2-1.3(F)(3)(g) Building Entrance Orientation... All buildings in the PB District shall have at least one principal building entrance oriented to the street. No surface off-street parking or unloading spaces, except a maximum of two (2) spaces in accordance with Section B.3-3.5(D)(1)(b)(i), shall be located between that building wall and the street or an extension of that building wall through the entire street frontage.
- Provide additional information regarding building materials to ensure compliance with B.2-1.3.1(A)
- Modify planting strip to comply with B.2-1.3.1(C) Planting Strip
- Note that lighting shall comply with B.2-1.3.1(E) Lighting
- Please check the size of planting areas as some are less than 600 square feet for a large variety tree per B.3-4.3(C)(2)
- Please confirm utility service areas shall be screened according to B.3-4.6 Utility Service Area Screen Standards.
- Staff strongly recommends use of native flora
- Ground sign shall comply with B.3-2 Sign Regulations
- Please confirm that water supply and sewage disposal facilities of Forsyth County are available and will service the development. If not, please follow requirements per B.3-10

The following are Village Poing Design Guidelines (overlay authority)

- What is the proposed crosswalk design?
- Design guidelines specify 1 bike parking space for every 50 car spaces. I recommend adding more than one and using either an inverted U or "Cora" type racks. Please locate bike racks close to building entrances and install a curb ramp in any drive near the bike parking.

- No set amount of public open space for commercials, but some amount of dedication is warranted. Visit section 5.3 and 5.4 for requirements and general design standards
- Bring the building closer to the intersection (6.1-2 Corner Lots)
- Provide parking area screening per 6.3-2 Parking Area Screening.
- Decorative lighting should mimic existing lighting aesthetics within the vicinity.
- A primary entrance facade shall be oriented toward the street, be designed for the pedestrian, and be distinguishable from the rest of the building. Such entrances shall be designed to convey their prominence on the fronting façade. Use building massing, special architectural features, and changes in the roof line to emphasize building entrances. Additional entrances may be oriented toward side or rear parking lots. Service entrances for shipping and receiving shall be oriented away from the public street.
- Explicit colors not provided. Concerned with the use of white. Earth tones are strongly encouraged with bright colors being used only as accents
- No data provided on materials. In addition to requirements in the UDO: Commercial building walls shall be brick, stucco, stone, marble, or other materials similar in appearance and durability. Regular concrete block may be used on building walls not visible from a public street. Decorative concrete block, siding, EIFS, and other minority elements may be used as an accent material only. All accessory buildings shall be clad in materials similar in appearance to the principal structure. Pitched roofs shall be clad in wood shingles, standing seam metal, corrugated metal, slate, dimensional asphalt shingles or similar material.

Clemmons Planning, Jeff Vaughn (336-766-7511) jvaughn@clemmons.org

- Show and label proposed sign location
- Label dumpster screening
- Buildings over 5000 sq. ft. must provide a loading/unloading space
- Use 9% for TSA calculations
- Per 3-3.5(D)(b)(ii) – one wall of the building must be within 15’ from one of the streets ROW
- One building entrance must be oriented to the street with a sidewalk connection to front door
- Provide owner telephone number and email
- Label 10’ streetyard adjacent to parking at entrance/exit drive
- Label typical parking dimensions, aisle widths, and driveway widths
- Label building dimensions
- Ground/rooftop mechanical equipment must be screened from view from all public street
- Show and provide sidewalk along Jesse Ln

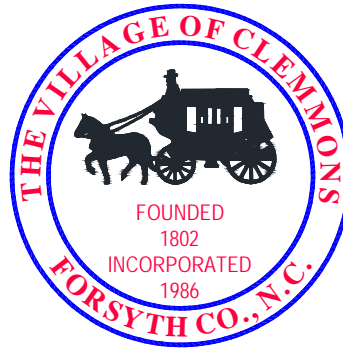
- Consider allowing additional uses in list of proposed uses
- Label utility easement along Jesse Ln if there is one
- Shade proposed mv surface area
- There may be additional comments as plan is revised

Winston-Salem/Forsyth County GIS Mapping and Design, Carly Everhart (336) 747-7012 carlye@cityofws.org

- No comment

Forsyth County Addressing, Matthew Hamby (336-703-2337) hambyme@forsyth.cc

- Address is 6318 Jessie Lane.



PUBLIC WORKS

7/23/2021

Subject: Triad Ocular TRC Comments

Below are the TRC comments provided by the Public Works, Engineering, and Stormwater Department:

1. Stormwater application and fees are required.
2. Has the stream/drainage basin on the western corner of the property been verified by a consultant or ACE?
3. A grading permit will be required from the City of Winston-Salem.
4. Show and label all streams on and adjacent to the property. All jurisdictional streams will require buffers per C-UDO 84 changes.
5. Add a note that all retaining walls must be designed by a structural engineer. Retaining walls must also be reviewed and approved by the Village of Clemmons planning department.
6. Check with planning staff regarding proximity of the dumpster location and the nearby roadways.
7. Add a slotted drain system (minimum 12") at the driveway connection, just behind the Right of Way line to capture any water trying to leave the site via the driveway, and to prevent water pouring offsite onto Jesse Lane.
8. A Village of Clemmons Driveway permit will be required prior to the issuance of a Stormwater Management Permit.
9. Add a note that all storm drainage must be CCTV'ed by the developer prior to acceptance and release of any financial sureties by the Village of Clemmons. It is suggested that the existing 30" system be CCTV'ed prior to construction to check for any failures of the system.
10. Existing inlet system should be converted into a closed system with a manhole access to prevent bypassing of on-site runoff.

11. Show or provide sidewalk easements around any portions of the sidewalk that are found to be outside of the right of way on this property. This only applies to sidewalk parallel to the public roadway, not internal sidewalks.
12. Add a note that all existing electrical lines shall be located a minimum of 10' (horizontally) from the proposed BMP location. Contact energy provider to discuss locations.
13. Show all private drainage easements.
14. Add a note that discharge from this site into the buffers must be in a sheet flow manner.
15. All new utilities shall be jack and bored underneath of existing roads. An open cut permit will not be provided for Jesse Lane.
16. Add a note that the driveway must meet commercial driveway connection ordinances found in Chapter 94 of the Village of Clemmons Code of Ordinances.
17. Show sign location.
18. Add a note that all sidewalks adjacent to parking stalls must be a minimum of 7' in width, unless concrete stops are installed in the parking stall.
19. Confirm with planning that parking lot islands meet minimum square footage requirements.
20. Add a note that any damages to existing sidewalk, curbing, or roadway, will be the developer's responsibility to repair. All repairs must be to the Village of Clemmons standards.

Please do not hesitate to call if you have any questions or need any assistance with the submittal.

Sincerely,

Wes Kimbrell, PE
Village Engineer
The Village of Clemmons