

**TECHNICAL REVIEW COMMITTEE
PRELIMINARY COMMENTS AND/OR RECOMMENDED CONDITIONS**

Note: Village Planning staff is responsible for coordinating the Technical Review of Special Use Rezoning Requests; please contact the appropriate Department at the phone # indicated below if you have any questions about the comments or recommendations listed. Further, please note that additional information may be forthcoming from Departments that indicate “See Emailed Comments” or another similar phrase. A list of recommended conditions from this Technical Review Committee will be sent to you via fax generally by the end of the business day on Friday the week prior to the Planning Board Public Hearing.

PROJECT CASE #: C-241 **PARCEL PIN:** 5884-89-5783
PROJECT TITLE/DESCRIPTION: Kakewalk
UDO: PB-S to PB-S (additional uses)

NCDOT District 2: Sr. Assistant District Engineer, Randy Ogburn (336-747-7900)

- No comments

Winston-Salem/Forsyth County Inspections (Zoning), Elizabeth Colyer (336-727-2626) elizabethrc@cityofws.org

- No comments

Winston-Salem (Erosion Control/Floodplain Program Manager) Matthew Osborne (336-747-7453) matthewo@cityofws.org

- No comments

Clemmons Public Works/Stormwater, Michael Gunnell (336-766-9170) mgunnell@clemmons.org

- See attached

Clemmons Fire Jerry Brooks (336-766-4114)

- No comments

Forsyth County Fire Scott Routh (336-703-2550) routhcs@forsyth.cc

- No comments

Winston-Salem/Forsyth County Utilities, Chris Jones (336-747-7499) charlesj@cityofws.org

- All items relating to Utilities are existing. Ensure the BFP has current testing.

Clemmons Planning, Nasser Rahimzadeh (336-766-7511) nasser@clemmons.org

- Any signage?
- Include the use that requires the most parking (general merchandise is 225 sf Gross Floor Area) in the off-street parking legend so that there is sufficient parking for all proposed uses.
- Still have to submit a site plan that complies with Form 1 B.7-4.1:

7-4.1 FORM 1 SUBMITTAL REQUIREMENTS

(A) Legend Legend (on right hand side of map) indicating:

- (1) If petition is for residential zoning - maximum number of dwelling units by type and density;
- (2) If nonresidential petition, type of use(s) and proposed maximum square footage of land and building in nonresidential uses;
- (3) Total acreage;
- (4) Approximate percent of building coverage to land;
- (5) Approximate percent of paved or graveled surface to land;
- (6) Approximate percent of open space to land;
- (7) Acreage in common open area used for active recreational uses, indicating purposes and uses (common open space as computed shall not include streets, drives, parking or loading areas); and,
- (8) Total number of parking spaces, and information necessary to calculate needed parking.

(B) Natural Features Natural features - existing and proposed:

- (1) Streams and stream buffers, drainageways, floodway and floodway fringe boundaries and elevations;
- (2) Wooded areas and other natural features;
- (3) Topography at four (4) foot intervals and two (2) foot intervals when available (distinction between existing and proposed topography lines to be shown according to the following: (existing - light dashed lines; proposed - thin solid lines);
- (4) Natural features to be left undisturbed. Any existing trees to be retained shall be preserved during construction in accordance with Section B.3-4.2(H)(3) and,
- (5) Slopes at twenty percent (20%) or greater grade, if bonus density is requested for a planned residential development under Section B.2-5.58(G).

(C) Constructed Features Constructed features - existing and proposed:

- (1) Buildings with setbacks from property lines and maximum height indicated;
- (2) Other structures, fences, walls, signs, plantings, etc.;

- (3) Rights-of-way and easements with type and widths indicated and an indication of whether public or private (access drives and parking areas to be shaded in);
- (4) Private and public drives including pavement widths, curb cuts, names, and an indication of whether public or private;
- (5) All other easements, parklands, playgrounds and other common or public areas;
- (6) Sidewalks, greenways, and other pedestrian ways;
- (7) Parking and loading areas with typical dimensions for spaces and lots;
- (8) Solid waste disposal facilities;
- (9) Utility lines over and under the site including storm drainage system;
- (10) Finished elevation on all center lines of new streets and any stub streets, both on site and at connection with adjacent property(s);
- (11) All streets, driveways, etc. (including pavement and right-of-way) within one hundred (100) feet of the project site; and,
- (12) Public/private water system.

Clemmons Planning, Jeff Vaughn (336-766-7511) jvaughn@clemmons.org

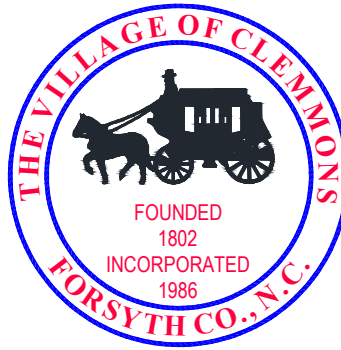
- Indicate whether public/private water and sewer
- Include existing topo lines
- Show any existing/proposed signage
- Show access easement through the property from the access point from the Eastern property
- Shade motor vehicle surfaces and label type of surface
- Label typical parking dimensions, aisle widths and driveway widths
- Label required loading/unloading space. If less than 12' X 65' note on plan that it will accommodate any size delivery vehicle
- Dumpsters?
- There may be additional comments as plan progresses

Winston-Salem/Forsyth County GIS Mapping and Design, Carly Everhart (336) 747-7012 carlye@cityofws.org

- No comments

Forsyth County Addressing, Gloria Alford (336-703-2337) alfordgd@forsyth.cc

- No comments



PUBLIC WORKS

6/14/2021

Subject: Kakewalk TRC Comments

Below are the TRC comments provided by the Public Works, Engineering, and Stormwater Department:

1. Add a Note that the maximum impervious area for this site shall be no greater than what was previously allowed on the River Ridge Master Plans and all stormwater conveyance shall be as those plans were originally intended. Please reference those drawings (verify flume discharge point).
2. Site will require a VOC stormwater management exempt permit.
3. Site will require a Grading Permit from WS if disturbing greater than 10,000 SF.
4. Show dumpster location.

Please do not hesitate to call if you have any questions or need any assistance with the submittal.

Sincerely,
Wes Kimbrell, PE
Stormwater Engineer
The Village of Clemmons